



Petition to Amend the Zoning Regulations and/or Zoning Map

Town of New Milford Zoning Commission

Rev. 5/2/13

TYPE OF APPLICATION

REGULATION AMENDMENT - CHANGE OF TEXT

MAP AMENDMENT - CHANGE OF ZONE

FOR OFFICE USE ONLY

DATE SUBMITTED: 1-27-22

FEE PAID: \$560⁰⁰ CK #: 2979

RECEIVED

JAN 27 2022

ZONING

PETITIONER/APPLICANT

Name: Joe Cordeiro, member, Sycamore Trails Group, LLC

Mailing Address: 511 Danbury Road

City/State/ Zip Code: New Milford, CT 06776

Phone: _____

Cell phone: (203) 917-6429

Email: c/o mjmpc2@comcast.net

Authorized Agent (IF DIFFERENT): Michael J. Mazzucco, P.E.

Mailing Address: 19A Ta'Agan Point Road, Danbury, CT 06811

Phone: 203-744-0057

Email: mjmpc2@comcast.net

REGULATION AMENDMENT – CHANGE OF TEXT

Section of the Regulations to be amended: _____

In addition to this completed application form and required fees, as set forth in Appendix B of the New Milford Zoning Regulations, the following must be submitted with a request for a change of text:

- Written statement signed by the applicant detailing why the text change is being proposed
- Eight (8) copies of the proposed text change; underline new language and [~~bracket and strike out language to be removed~~].
- Agent Letter of Authorization (*if applicable*)

MAP AMENDMENT - CHANGE OF ZONE

Location: Early View Lane and Bonnie Vu Lane

Tax Map(s): 45 and 52

Property Owner: Sycamore Trails Group, LLC

Tax Lot(s): 45/2, 52/30.B, 52/29.3

Mailing Address: 511 Danbury Road, New Milford, CT 06776

Phone: (203) 917-6429

Email: c/o mjmpc2@comcast.net

Current Zone: R-80

Proposed Zone: CCSD-#3 (see attached proposed regs)

Reason for the proposed change in zone: Proposed conservation subdivision for preservation of environmentally sensitive area, quality of underground & surface water, appearance & character of natural beauty of land and passive recreation purposes and to add to current existing open spaces adjoining the subject parcel.

In addition to this completed application form and required fees, as set forth in Appendix B of the New Milford Zoning Regulations, the following must be submitted with a request for a change of zone:

- Eight (8) copies of an A-2 survey depicting the boundaries of the proposed zone change with a listing of the property owners of record within a 500 foot radius of the subject property. (Refer to Section 200-020 of the New Milford Zoning Regulations for additional information. Maps must be folded, not rolled).
One (1) copy of each of the following:
 - Written statement signed by the applicant detailing the requested change
 - Name(s) and address(s) of owners of record, as of the date of application submission, of all abutting property owners and those directly across the street from the subject property (*obtain from the Tax Assessor's office*)
 - Schedule A – Legal Description of the property(s) (*obtain from the Town Clerk's office*)
 - Agent Letter of Authorization signed by the owner of record (*if applicable*)

Please see section 200-030 of the Zoning Regulations for Public Hearing Notice Requirements.

SCHEDULE OF FEES

Checks are made payable to the Town of New Milford

Regulation Amendment	\$250.00	\$ _____
	\$ 60.00 State of CT Land Use Fee	\$ _____
	\$ 30.00 Publication costs	\$ _____
Map Amendment	\$300.00 500	\$ 300.00 500 ⁰⁰ TP
As of 10-13-17 Fee increased	\$ 60.00 State of CT Land Use Fee	\$ 60.00
	Total fee submitted	\$ 360.00 560 ⁰⁰ TP J. B.

SIGNATURES (MUST BE ORIGINAL INK, NOT SCANNED OR FAXED)

The applicant understands that this application is considered complete only when all information and documents required have been submitted and the fee paid. The applicant or their agent must be present for the meeting at which their application will be heard.

Joaquín Cardenas
APPLICANT SIGNATURE + OWNER

1/26/22
DATE

Michael J. Pizzani
OWNER AUTHORIZED AGENT (IF DIFFERENT FROM APPLICANT)

1/26/22
DATE

Zoning Department
10 Main Street, New Milford, CT 06776

E-mail: Zoning@newmilford.org
Phone: 860-355-6095

Sycamore Trails Group, LLC
511 Danbury Road
New Milford, CT 06776
January 24, 2022

Town of New Milford Land Use Offices (Zoning, Planning & Inlands Wetlands)
10 Main Street
New Milford, CT 06776

RE: Early View Lane & Bonnie Vu Lane, New Milford - Assessor's lots 52/29.A, 52/30.B & 45/2

Please be advised that Michael J. Mazzucco, P.E and Attorney Neil Marcus are authorized to act as agents for all land use applications including representation before town boards and commissions.

The purpose for the requested zone change for the subject parcels is to propose a Cluster Conservation Subdivision District (Quiet Acres) CCSD#3 under the provisions of Chapter 107 of the Zoning Regulations. The total acreage of the 3 parcels is approximately 122.5 acres all of which are currently in the R-80 zone. A portion of the property abuts the R-60 zone as well and several pieces of open space lands currently owned by the Northwest Connecticut Land Conservancy and the Steep Rock Association.

By granting the zone change a large portion of the 122.5 acres would be designated as open space and connect the current open spaces together. There are also natural features that would remain undisturbed as a result. In addition to the reduction of developed area as a result of the use of smaller lots of 40,000 sq. ft. instead of the 80,000 sq. ft required under the current zone.

A handwritten signature in cursive script, reading "Joe Cordeiro", written over a horizontal line.

Joe Cordeiro, Member Sycamore Trails Group, LLC

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JAN 27 2022

ZONING

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip
44/58	67 BONNIE VU LN	USATY GEORGE JR + JENNIFER	67 BONNIE VU LN	NEW MILFORD	CT	06776
44/59	69 BONNIE VU LN	HAYES SENAN L + KRESTA M	233 CATLIN RD	HARWINTON	CT	06791-1717
44/60	71 BONNIE VU LN	PACHECO SIMONE JR	71 BONNIE VU LN	NEW MILFORD	CT	06776
44/61	73 BONNIE VU LN	SCHULZ THOMAS M	73 BONNIE VU LN	NEW MILFORD	CT	06776
45/1	77 HARTWELL RD	PATTERSON ARTHUR F + MARCIA L	77 HARTWELL RD	NEW MILFORD	CT	06776
51/194.16	35 BONNIE VU LN	OLSEN WILLIAM R + LUCA ANAMARIA	35 BONNIE VU LN	NEW MILFORD	CT	06776
51/195.18	39 BONNIE VU LN	PSENICNIK BARTHOLOMEW A + LAURIE A	39 BONNIE VU LN	NEW MILFORD	CT	06776
51/198	45 BONNIE VU LN	MOGLIA STEPHEN J + SUSAN M	45 BONNIE VU LN	NEW MILFORD	CT	06776
51/200	55 BONNIE VU LN	BENSEMA MICHAEL + MINJIANG	55 BONNIE VU LN	NEW MILFORD	CT	06776
51/201	63 BONNIE VU LN	RODRIGUEZ, MIGUEL ANTHONY + EVITA PEREZ	63 BONNIE VU LN	NEW MILFORD	CT	06776
51/202	65 BONNIE VU LN	REITBOECK, GEORGE	65 BONNIE VU LN	NEW MILFORD	CT	06776
45/2	ASPETLUCK RDG RD	GINSBERG JEFFREY	2475 PALISADE AVE	BRONX	NY	10463
45/5	HARTWELL RD	CARTER ARTHUR LLOYD REV TRUST	140 58th ST, BUILDING B, SUITE 3C	BROOKLYN	NY	11220
45/6	WALKER BROOK RD	PATTERSON ARTHUR F + MARCIA L	77 HARTWELL RD	NEW MILFORD	CT	06776
52/42.14	25 BONNIE VU LN	FARKAS LISA M	25 BONNIE VU LN	NEW MILFORD	CT	06776
52/44.1	WALKER BROOK RD	STEEP ROCK ASSOC INC	PO BOX 279	WASHINGTON DEPOT	CT	06794-0279
52/22	CHAPIN RD	NORTHWEST CONNECTICUT LAND CONSERVANCY INC	PO BOX 821	KENT	CT	06757
52/23.8	72 CHAPIN RD	AMORANDO, ANTHONY	65 BONNIE VU LN	NEW MILFORD	CT	06776
52/24	70 CHAPIN RD	BRUNO WALTER + MARIA	70 CHAPIN RD	NEW MILFORD	CT	06776
52/26.6	5 EARLY VIEW LN	SCHIPUL, FREDERICK W	5 EARLY VIEW LN	NEW MILFORD	CT	06776
52/27	9 EARLY VIEW LN	DINHO ALAN A + ERICA	9 EARLY VIEW LN	NEW MILFORD	CT	06776
52/28	13 EARLY VIEW LN	DEMATTIA RONALD + DIANNE	13 EARLY VIEW LN	NEW MILFORD	CT	06776
52/32	16 EARLY VIEW LN	GRAY CHRISTOPHER ADAM + KARA ELIZABETH	16 EARLY VIEW LN	NEW MILFORD	CT	06776
52/44	WALKER BROOK RD	STEEP ROCK ASSOCIATION INC	PO BOX 279	WASHINGTON DEPOT	CT	06794-0279
52/45	105 WALKER BROOK RD	CANIZARES, CRISTOPHER	105 WALKER BROOK RD	NEW MILFORD	CT	06776

*See updated
abutting
property owner
list*

Updated Abutting Property Owners List for Tax Map 45/Lot 2; Tax Map 52/Lot 30.B & Tax Map 52/Lot 29.A

ID	Site Address	Owner Name	Owner Address	Owner City	Owner State	Owner Zip
44/58	67 BONNIE VU LN	USATY GEORGE JR + JENNIFER	67 BONNIE VU LN	NEW MILFORD	CT	06776
44/59	69 BONNIE VU LN	HAYES SENAN L + KRESTA M	233 CATLIN RD	HARWINTON	CT	06791-1717
44/60	71 BONNIE VU LN	PACHECO SIMONE JR	71 BONNIE VU LN	NEW MILFORD	CT	06776
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45/1	77 HARTWELL RD	PATTERSON ARTHUR F + MARCIA L	77 HARTWELL RD	NEW MILFORD	CT	06776
45/5	HARTWELL RD	CARTER ARTHUR LLOYD REV TRUST; CARTER ARTHUR LLOYD + LINDA TRUSTEES	% CARTER ARTHUR L., 140 58TH ST BLDG B STE 3C	BROOKLYN	NY	11220
45/6	WALKER BROOK RD	PATTERSON ARTHUR F + MARCIA L	77 HARTWELL RD	NEW MILFORD	CT	06776
51/194.16	35 BONNIE VU LN	OLSEN WILLIAM R + LUCA ANAMARIA	35 BONNIE VU LN	NEW MILFORD	CT	06776
51/195.18	39 BONNIE VU LN	PSENICNIK BARTHOLOMEW A + LAURIE A	39 BONNIE VU LN	NEW MILFORD	CT	06776
51/198	45 BONNIE VU LN	MOGLIA STEPHEN J + SUSAN M	45 BONNIE VU LN	NEW MILFORD	CT	06776
51/200	55 BONNIE VU LN	BENSEMA MICHAEL + MINJIANG	55 BONNIE VU LN	NEW MILFORD	CT	06776
51/201	63 BONNIE VU LN	RODRIGUEZ, MIGUEL ANTHONY + EVITA PEREZ	63 BONNIE VU LN	NEW MILFORD	CT	06776
51/202	65 BONNIE VU LN	REITBOECK, GEORGE & BAGCHI, ADITI	65 BONNIE VU LN	NEW MILFORD	CT	06776
52/22	CHAPIN RD	NORTHWEST CONNECTICUT LAND CONSERVANCY INC	PO BOX 821	KENT	CT	06757
52/23.8	72 CHAPIN RD	AMORANDO, ANTHONY	65 BONNIE VU LN	NEW MILFORD	CT	06776
52/24	70 CHAPIN RD	BRUNO WALTER + MARIA	70 CHAPIN RD	NEW MILFORD	CT	06776
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52/28	13 EARLY VIEW LN	DEMATTIA RONALD + DIANNE	13 EARLY VIEW LN	NEW MILFORD	CT	06776
52/31	BONNIE VU LN	CORDEIROS CONSTRUCTION CORPORATION	511 DANBURY RD	NEW MILFORD	CT	06776
52/32	16 EARLY VIEW LN	GRAY CHRISTOPHER ADAM + KARA ELIZABETH	16 EARLY VIEW LN	NEW MILFORD	CT	06776
52/42.14	25 BONNIE VU LN	FARKAS LISA M	25 BONNIE VU LN	NEW MILFORD	CT	06776
52/44	WALKER BROOK RD	STEEP ROCK ASSOCIATION INC	PO BOX 279	WASHINGTON DEPOT	CT	06794-0279
52/44.1	WALKER BROOK RD	STEEP ROCK ASSOC INC	PO BOX 279	WASHINGTON DEPOT	CT	06794-0279
52/45	105 WALKER BROOK RD	CANIZARES, CRISTOPHER; FRIEDMAN, DANIEL	105 WALKER BROOK R	NEW MILFORD	CT	06776

SCHEDULE A

PARCEL 1

Chapin Road, New Milford, CT

First Piece:

M/B/L – 52//30/B (31.21 acres +/-) and M/B/L – 52//29/A (68 acres +/-)

ALL THAT CERTAIN piece or parcel of land, together with the buildings and improvements thereon, situated in the Town of New Milford, County of Litchfield and State of Connecticut, containing 122.54 acres, more or less, and being shown and designated on a certain map entitled "Preliminary Subdivision Map prepared for Cordeiro Construction Corporation, Chapin Road, Town of New Milford, Litchfield County, Connecticut, Scale 1"–/ 00', January 8, 1990, R-80 Zone, Total Area--145.09 Acres, Area in this Phase = 22.55 Acres, Class A-2 Survey Certified Substantially Correct by Paul A. Hiro, P.C. New Milford, Connecticut", which map is on file or to be filed in the Office of the Town Clerk of the Town of New Milford, to which map reference is hereto made for a more particular description of said premises.

EXCLUDING all those certain pieces or parcels of land, situated in the Town of New Milford, County of Litchfield and State of Connecticut being shown and designated as Lots 1 through 10 and the roadway known as East View Lane, on that certain map entitled "Final Subdivision Map showing 'Quiet Meadows' Phase One, Town of New Milford, Litchfield County, CT. January 29, 1990, Scale 1"–1001, Revised April 28, 1990 to conservation buffer Revised January 28, 1991 to show notes 9 & 10, which map is certified substantially correct by Paul A. Hiro, P.C., and which map is on file in the Office of the Town Clerk of the Town of New Milford as Map No. 1597R.

TOGETHER with any and all right, title and interest in and to any rights of way and/or passways leading from said premises to Walker Brook Road.

As to M/B/L 52//29/A – TOGETHER with the right to pass and repass, in common with others, for all purposes over Early View Lane.

Second Piece:

M/B/L – 45//2// (23.14 acres +/-)

All that certain piece or parcel of land situated in the Town of New Milford, County of Litchfield, State of Connecticut, containing 23.138 acres of land and being shown on a certain map entitled "Map Prepared for Cordeiro Construction Corporation, New Milford, Connecticut Class A-2 Survey by New England Land Surveying, P.C., July 24, 1986, Robert M. Bennison, L.S. #12964 and being bounded as follows:

Northerly: Now or formerly by property of Nancy Klein, et als.

Southerly: Now or formerly by property of Sylvester Zakrzewski, Sally Zakrzewski, a/k/a Sally Suskey, Helen Ross, a/k/a Helen Zakrzewski, a/k/a Helen Suskey, and Martha Manchester, a/k/a Minnie Zakrzewski

Easterly: Now or formerly by property of Nancy Klein, et als.

Westerly: Now or formerly by property of Cordeiro Construction Corporation

Said map is on file in the New Milford Town Clerk's office as Map #1331.

E-3: Cluster Conservation Subdivision District #3 (CCSD#3)

The following regulations shall be applicable within the Quiet Ares Cluster Conservation Subdivision District as defined below:

Tax Assessor's Map # 52, lot 29.A, Map # 52, lot 30.B and Map 45, lot 2, and depicted on a map entitled "Zone Change Map Depicting Properties within 500' of Proposed 'Quiet Acres' New Milford, Connecticut Prepared for Sycamore Trails Group, LLC. Scale 1"=200', dated Dec. 21, 2021' prepared by PAH, Inc. , Land Surveyors, 35 Danbury Road, New Milford, Connecticut 06776 located on the southerly side of Early View Lane and easterly side of Bonny Vu Lane.

1. Lot Area, Frontage and Yard Requirements:

The minimum lot area is 40,000 square feet.

The maximum building height is 35 feet.

The minimum lot frontage is 150 feet. Irregular shaped lots and rear lots, as hereafter defined, are also permitted.

The minimum front yard is 40 feet.

The minimum side yard is 25 feet.

The minimum rear yard is 30 feet.

The minimum front and side yards on a corner lot is 30 feet.

The maximum principal building coverage is 15%

The maximum total building coverage is 20%

The maximum site coverage is 25%

No more than 15% of the lot may contain areas with existing slopes greater than 25%.

Irregular shaped lots having an area of 40,000 square feet and an average lot width of 125 feet are permitted provided that the lot has a minimum lot frontage of 50 feet on a street or highway. The lot line from which the right-of-access leads shall be considered the front line of the rear lot.

Rear lots are permitted provided that the lot has its own separate and individual unobstructed right-of-way, which is everywhere not less than 20 feet wide connecting to a street or highway. The lot line from which the right-of-access leads shall be considered the front line of the rear lot.

Front yards on corner lots. On corner lots, a front yard requirement of 30 feet shall be enforced on either street front. The width of the side yards shall not be less than thirty feet (30').

No buffer areas are required.

Common driveways as defined in section 165-050 3 are permitted.

2. Permitted uses:

The following uses are permitted:

- A. Single Family Residence or Dwelling, together with such other buildings as are ordinarily appurtenant to a single family use.
- B. Accessory Apartment, subject to a special permit and compliance with the standards and procedures applicable to approval of accessory apartments in other single family zoning districts (Section 025-030 3).
- C. Home including "Home Office or Studio", "Traditional Home Enterprise" and "General Home Occupation" subject to the standards, conditions and permit requirements otherwise set forth in the Zoning Regulations (Section 025-070 et seq.).

3. Accessory uses:

No accessory building, including a swimming pool, shall be located in any required front yard, except that an accessory building, including a swimming pool, may be located in the required rear yard or side yard provided that the same is brought no closer than twenty feet (20') from the rear or side lot lines.

A building attached to the principal building by a covered passageway, or having a wall or a part of a wall in common with it, shall be considered an integral part of the principal structure and not an accessory building.

4. Utilities:

All lots shall be served by individual wells and septic systems approved by the New Milford Department of Health or such other public or private water supply or sewer system as may be available to provide water or sewer service to such lots. Electric and other utilities shall be provided by public service companies via underground lines/conduits.

January 24, 2022

SITE ASSESSMENT ANALYSIS OF "QUIET ACRES" CLUSTER CONSERVATION SUBDIVISION

Early View Lane & Bonnie Vu Lane, New Milford - Assessor's lots 52/29.A, 52/30.B & 45/2

The purpose of this assessment is to describe the site and its features and history, topography, vegetation, soil types, etc.

The past use of the site has been farming for the areas conducive to farming which tended to be areas of non steep slopes. There were no indications of any former buildings on the subject parcels. There are areas on site that are steep as shown on the submitted mapping. In addition to steep slope sensitive areas there are wetlands however there are no plans to impact any of the wetlands. There was a previous layout of a subdivision years ago that proposed connecting a proposed road from Bonny-Vu to the cul-de-sac of Early View Lane. The proposal required a substantial impact to wetlands and 2 watercourse crossings. The non steep areas on the parcel located off of Early View Lane are mostly fields. The steep slope ravine area has remained in its natural state as it was too steep to be used for any useful farming purposes. Since the fields have not been maintained they have started to grow in with small trees and scrub brush.

An electric power transmission line exists along the southerly property line on the parcel off of Early View Lane.

The other two parcels that would be accessed from Bonny-Vu Lane are wooded and it has been some time since they were farmed.

Soils information as listed from the soil survey are noted on the area maps in the plan set and soil testing has been substantially completed in conjunction with the New Milford Health Department on the parcel off of Early View Lane. Soils are suitable for on site septic and 40,000 sq. ft. lots would allow ample room for a dwelling, septic and well. The lot size also meets the Health Department regulations for minimum lot size having individual on site well and septic. Soil testing has not been completed on the other parcels however it was expected that the area of concern was the parcel tested because it was farmed in the not too distant past.

As shown on the Natural Diversity Database map shown on Area Maps, the site is located within an area of State and Federal Listed Species. An application will be submitted as design of the project advances.

Areas of steep slopes are shown on the site plans as shaded.

The proposed Cluster Conservation Zone would provide many benefits, mainly the dedication of a substantial amount of open space. The proposed open space would also connect to other adjacent large pieces of open space. It would also allow development minimizing impact to wetland areas and watercourses. The parcel is located in the R-80 zone but the R-60 zone is located adjacent to or very near the subject parcels as shown on the area mapping (zone map).

As stated the proposal, if approved, will preserve a majority of the parcels as dedicated open space preserving steep slopes, wetlands and watercourses as well as other environmentally sensitive areas. The cluster provisions allow for a more condensed layout than the current R-80 zoning requirements and therefore would reduce disturbance, impervious areas, clearing of trees and lawn areas all of which would help in protecting ground and surface water quality. The preservation of approximately 88 acres of the 122.5 acres (over 70%) would be adjacent to several pieces of open space and allow interconnection of said open space areas. It would also preserve a large portion of land located within the area of know Federal and State Listed Species to be kept in its natural state provide additional protection benefits of any habitat of concern and other habitat as well.

NORTH BRP - T. C. MAP NO. 16098

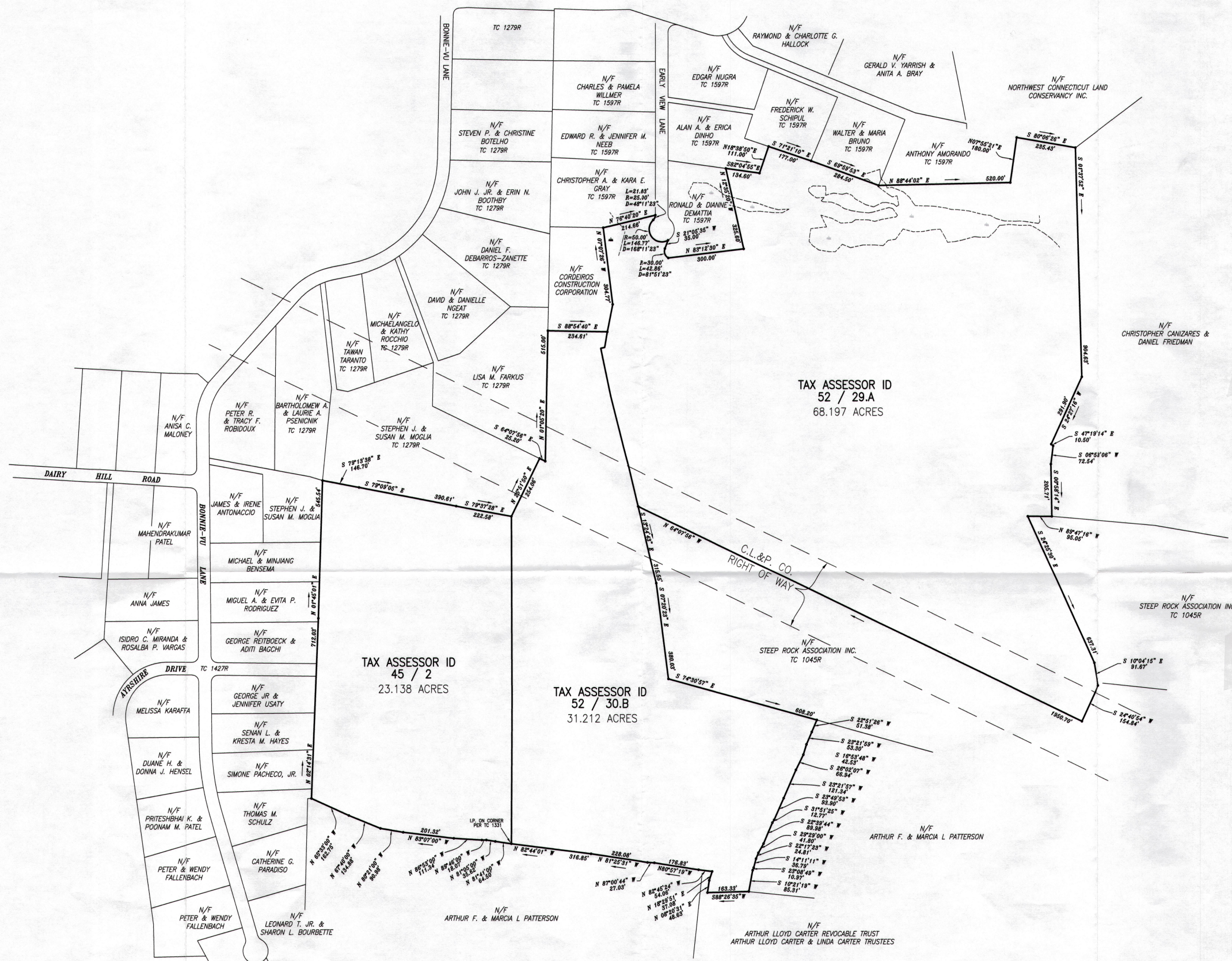
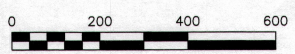


Table listing abutting property owners with their names and addresses, including: MBLU MIRANDA ISIDRO CEDILLO + VARGAS ROSALBA, MBLU USATY GEORGE JR + JENNIFER, MBLU HAYES SENAN L + KRESTA M, etc.

ZONE CHANGE MAP
DEPICTING PROPERTIES WITHIN 500' OF PROPOSED "QUIET ACRES"
PREPARED FOR
SYCAMORE TRAILS GROUP, LLC
BONNIE VU LANE & EARLY VIEW LANE
TOWN OF NEW MILFORD LITCHFIELD COUNTY, CT.
DEC. 21, 2021 SCALE: 1" = 200'

- NOTES:
1) PROPERTY IS LOCATED IN R-80 ZONING DISTRICT.
2) REFERENCE MADE TO TOWN CLERK MAPS NO. 1279R, 1331, 1427R AND 1597R OF THE NEW MILFORD LAND RECORDS.
3) THE INTENT OF THIS MAP IS TO SHOW A PROPOSED ZONE CHANGE OF THE THREE PARCELS DEPICTED TOTALING AN AREA OF 122.5+ ACRES "IN ORDER TO CREATE A CLUSTER CONSERVATION ZONE NAMED "QUIET ACRES".

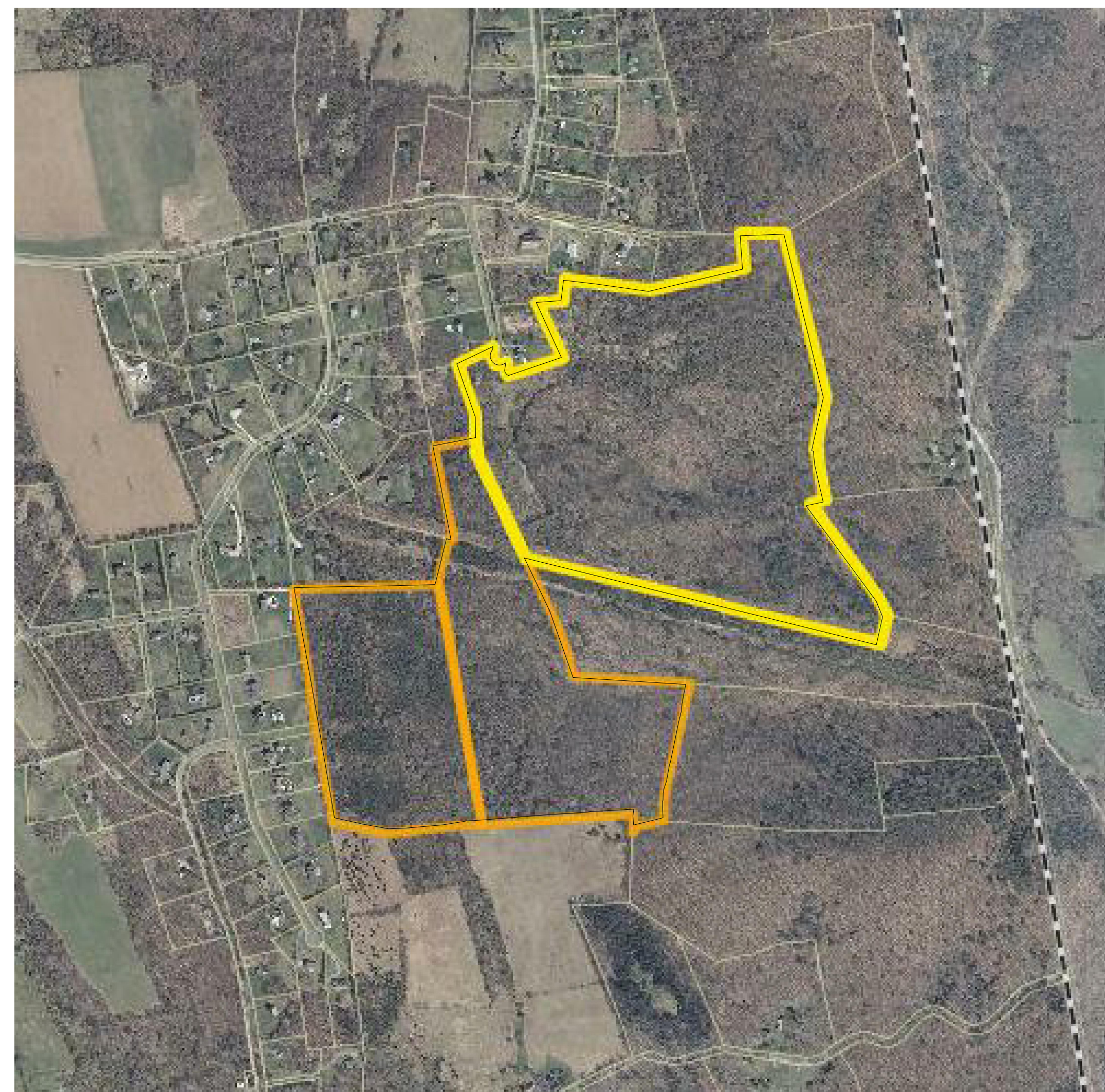


RECEIVED
JAN 27 2022
ZONING
THIS SURVEY MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" EFFECTIVE 06-21-96 AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
IT IS A PROPERTY SURVEY BASED ON A RESURVEY OF EXISTING MAPS.
THIS SURVEY MEETS CLASS A-2 STANDARDS.
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
PREPARED BY THE OFFICE OF PAH, INC. ~ LAND SURVEYORS
35 DANBURY ROAD NEW MILFORD, CT.
Paul A. Hiro, L.S. ~ CT. REG. NO. 45167
JOB NO. 9104

"Quiet Acres"

*A Cluster Conservation Subdivision proposal
Bonny Vu Lane & Early View Lane*

NOTE: THIS PLAN IS SUBJECT TO THE APPROVAL OF A CLUSTER CONSERVATION SUBDIVISION ZONE CHANGE BY THE NEW MILFORD ZONING COMMISSION.



MAP REFERENCE:

- 16036-A AREA MAPS
- 16036-OV OVERALL EXISTING CONDITIONS MAP
- 16036-OS OPEN SPACE PLAN
- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

OWNER/DEVELOPER:

OWNER: SYCAMORE TRAILS GROUP, LLC
ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

MICHAEL J. MAZZUCCO, P.C.

(203) 744-0057 CIVIL ENGINEER (FAX) 744-0057
19A TA'AGAN POINT ROAD DANBURY, CONNECTICUT 06811

PROJECT PROPOSED SUBDIVISION -
EARLY VIEW LANE, NEW MILFORD, CT

TITLE TITLE SHEET (SYCAMORE TRAILS GROUP, LLC)

SCALE AS NOTED DATE 1/24/22 DRAWING NO.


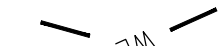


DRAWN BY ACAD APPROVED BY M.M. 16036-T

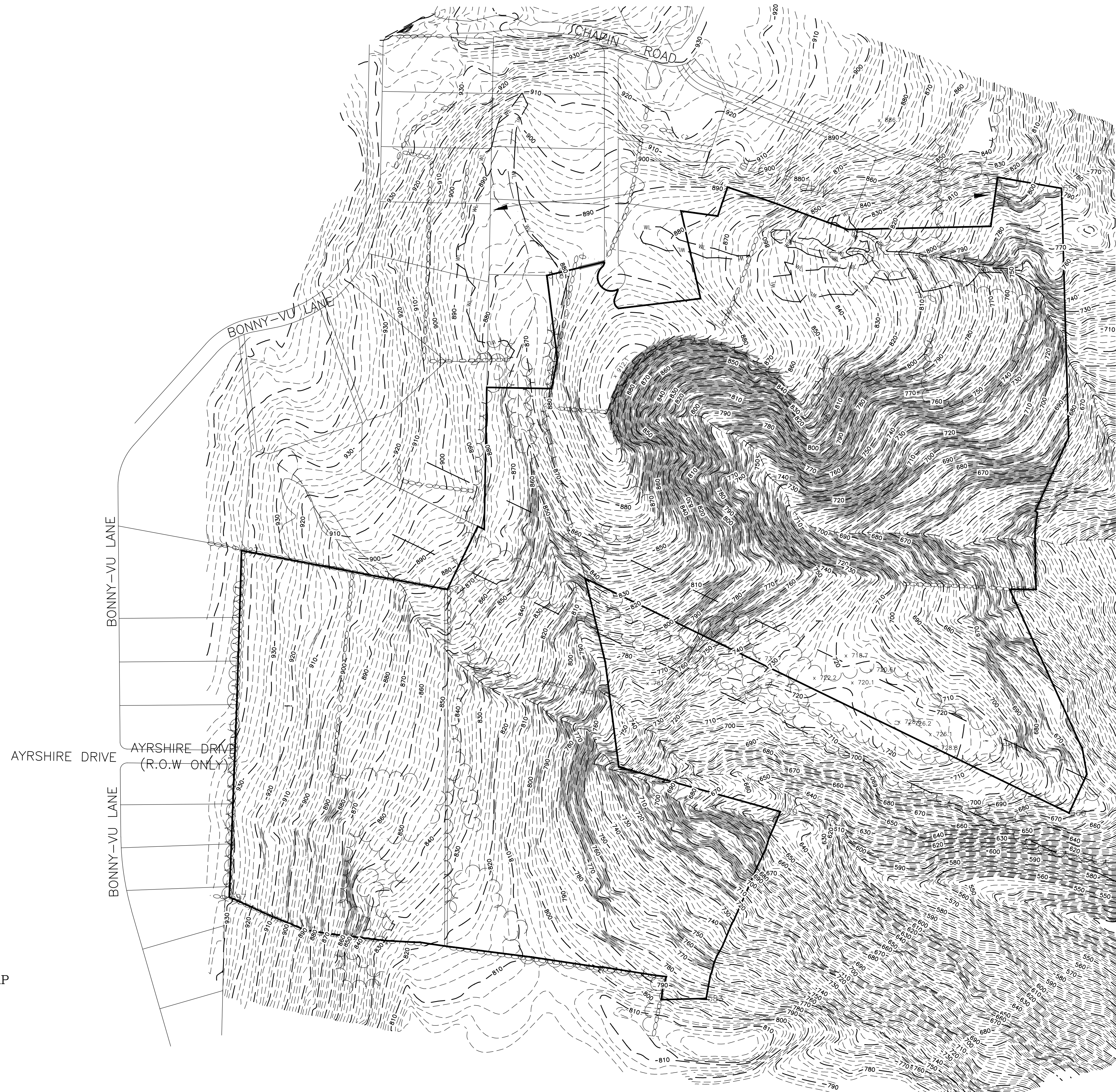
REVISIONS

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LEGEND

-  APPROX. EXISTING GRADE CONTOURS TAKEN FROM AERIAL TOPOGRAPHIC MAPPING BY LIU AERIAL SURVEYS
-  WETLANDS LINE AS SHOWN ON MAP PREPARED BY PAH, INC AS FLAGGED BY HENRY MOELLER, SOIL SCIENTIST
-  LOT NUMBER
-  EXISTING STONEWALL



MAP REFERENCE:

- 16036-A AREA MAPS
- 16036-OV OVERALL EXISTING CONDITIONS MAP
- 16036-OS OPEN SPACE PLAN
- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

NOTES

- 1) REFER TO A-2 SURVEY AND ZONE CHANGE MAP OF "QUIET ACRES" PREPARED BY PAH, INC. FOR ADDITIONAL INFORMATION.
- 2) REFER TO SHEETS IN MAP REFERENCE PREPARED BY THIS OFFICE FOR ADDITIONAL INFORMATION AND NOTES.
- 3) ALL LOTS SHALL HAVE SEPTIC SYSTEMS DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT.
- 4) PROVIDE CLEARING AS NECESSARY FOR PROPER SIGHT LINES.
- 5) PLANS AND INFORMATION ARE FOR ZONE CHANGE PURPOSES ONLY. FURTHER DETAILED INFORMATION WILL BE REQUIRED FOR FORMAL APPLICATION FOR SUBDIVISION APPROVAL.
- 6) ALL STONE WALLS SHALL BE REMOVED WITHIN 25' OF ANY PROPOSED SEPTIC SYSTEM.
- 7) ALL DRIVEWAYS SHALL NOT EXCEED 15% MAXIMUM GRADE. ANY DRIVEWAY THAT EXCEEDS 10% GRADE SHALL BE PAVED. THE TRAVELLED PORTION OF ANY DRIVEWAY EXCEEDING 5% GRADE WILL BE ABOVE THE SURROUNDING TERRAIN AND CROWNED TO DRAIN WATER TO THE SIDES.
- 8) NO FLOOD ZONES A OR B EXIST ON SITE ACCORDING TO THE FLOOD INSURANCE STUDY FOR THE TOWN OF NEW MILFORD.

SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

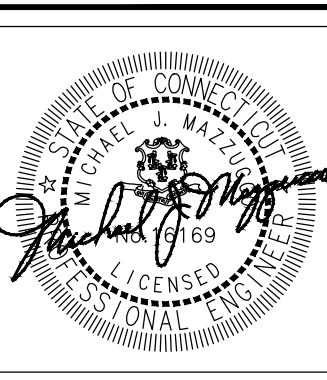
MICHAEL J. MAZZUCCO, P.C.

(203) 744-0057 CIVIL ENGINEER (FAX) 744-0057
19A TA'AGAN POINT ROAD DANBURY, CONNECTICUT 06811

PROJECT BONNIE VU LANE & EARLY VIEW LANE
NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)

TITLE OVERALL EXISTING CONDITIONS MAP

SCALE 1" = 200'	DATE 1/24/22	DRAWING NO.
DRAWN BY ACAD	APPROVED BY M.M.	16036-OV



LOT AREA = 122.5± ACRES
PLAN
SCALE: 1" = 200'

OWNER/DEVELOPER:
OWNER: SYCAMORE TRAILS GROUP, LLC
ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

MAP REFERENCE:

- 16036-A AREA MAPS
- 16036-OV OVERALL EXISTING CONDITIONS MAP
- 16036-OS OPEN SPACE PLAN
- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2



NOTES

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SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

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PROJECT BONNIE VU LANE & EARLY VIEW LANE
NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)

TITLE OPEN SPACE PLAN

SCALE 1" = 200'

DATE 1/24/22

DRAWING NO.

DRAWN BY ACAD

APPROVED BY M.M.

16036-OS







OWNER/DEVELOPER:
OWNER: SYCAMORE TRAILS GROUP, LLC
ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776



MAP REFERENCE:

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- 16036-OV OVERALL EXISTING CONDITIONS MAP
- 16036-OS OPEN SPACE PLAN
- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

LEGEND

-  APPROX. EXISTING GRADE CONTOURS TAKEN FROM AERIAL TOPOGRAPHIC MAPPING BY LIU AERIAL SURVEYS
-  WETLANDS LINE AS SHOWN ON MAP PREPARED BY PAH, INC AS FLAGGED BY HENRY MOELLER, SOIL SCIENTIST
-  EXISTING STONEWALL
-  AREAS OF STEEP SLOPES (25%+)

NOTES

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AREA = 122.5± ACRES
PLAN
 SCALE 1" = 100'

OWNER/DEVELOPER:
 OWNER: SYCAMORE TRAILS GROUP, LLC
 ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

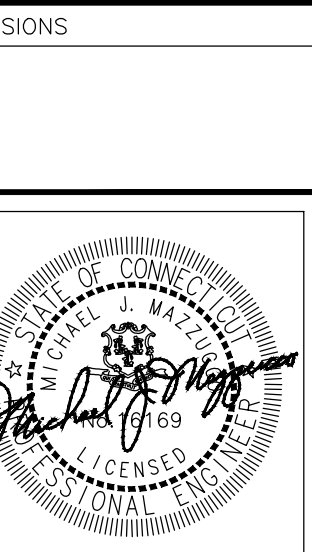
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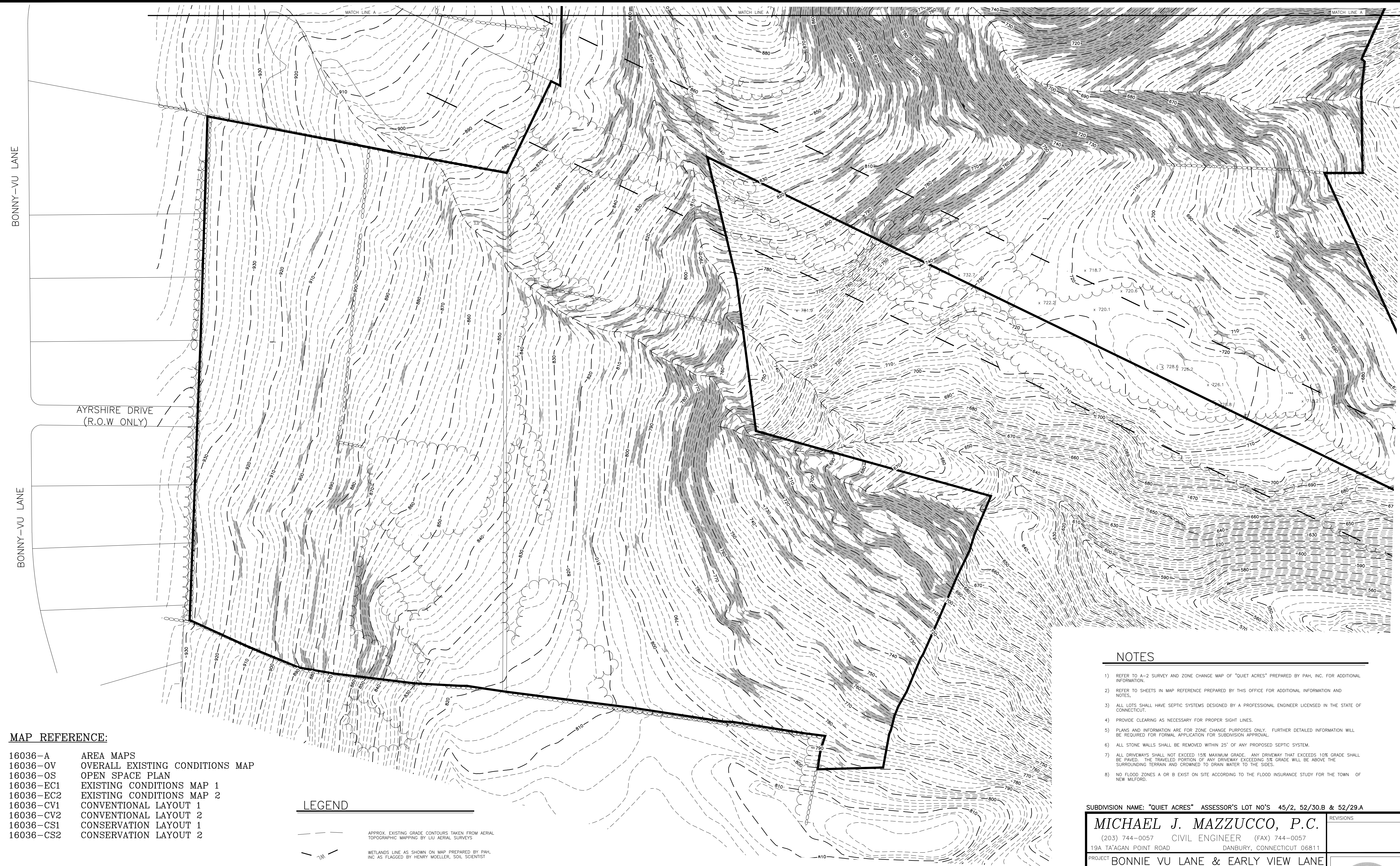
(203) 744-0057 CIVIL ENGINEER (FAX) 744-0057
 19A TA'AGAN POINT ROAD DANBURY, CONNECTICUT 06811

PROJECT **BONNIE VU LANE & EARLY VIEW LANE**
NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)

TITLE **EXISTING CONDITIONS MAP 1**

SCALE 1" = 100'	DATE 1/24/22	DRAWING NO. 16036-EC1
DRAWN BY ACAD	APPROVED BY M.M.	





- MAP REFERENCE:**
- 16036-A AREA MAPS
 - 16036-OV OVERALL EXISTING CONDITIONS MAP
 - 16036-OS OPEN SPACE PLAN
 - 16036-EC1 EXISTING CONDITIONS MAP 1
 - 16036-EC2 EXISTING CONDITIONS MAP 2
 - 16036-CV1 CONVENTIONAL LAYOUT 1
 - 16036-CV2 CONVENTIONAL LAYOUT 2
 - 16036-CS1 CONSERVATION LAYOUT 1
 - 16036-CS2 CONSERVATION LAYOUT 2

- LEGEND**
- APPROX. EXISTING GRADE CONTOURS TAKEN FROM AERIAL TOPOGRAPHIC MAPPING BY LIU AERIAL SURVEYS
 - WETLANDS LINE AS SHOWN ON MAP PREPARED BY PAH, INC AS FLAGGED BY HENRY MOELLER, SOIL SCIENTIST
 - EXISTING STONEWALL
 - AREAS OF STEEP SLOPES (25%+)

AREA = 122.5± ACRES
PLAN
 SCALE 1" = 100'

OWNER/DEVELOPER:
 OWNER: SYCAMORE TRAILS GROUP, LLC
 ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

- NOTES**
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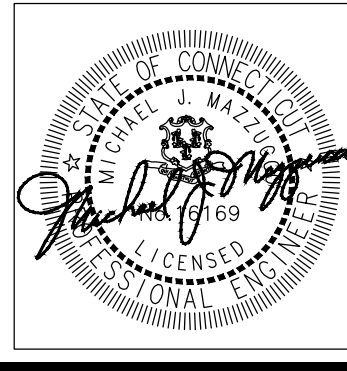
SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

MICHAEL J. MAZZUCCO, P.C.
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PROJECT **BONNIE VU LANE & EARLY VIEW LANE**
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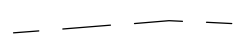



TITLE **EXISTING CONDITIONS MAP 2**

SCALE 1" = 100'	DATE 1/24/22	DRAWING NO. 16036-EC2
DRAWN BY ACAD	APPROVED BY M.M.	





LEGEND

-  APPROX. EXISTING GRADE CONTOURS TAKEN FROM AERIAL TOPOGRAPHIC MAPPING BY LIU AERIAL SURVEYS
-  WETLANDS LINE AS SHOWN ON MAP PREPARED BY PAH, INC AS FLAGGED BY HENRY MOELLER, SOIL SCIENTIST
-  LOT NUMBER
-  EXISTING STONEWALL

MAP REFERENCE:

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- 16036-OS OPEN SPACE PLAN
- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

NOTES

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AREA = 122.5± ACRES
PLAN
 SCALE 1" = 100'

OWNER/DEVELOPER:
 OWNER: SYCAMORE TRAILS GROUP, LLC
 ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

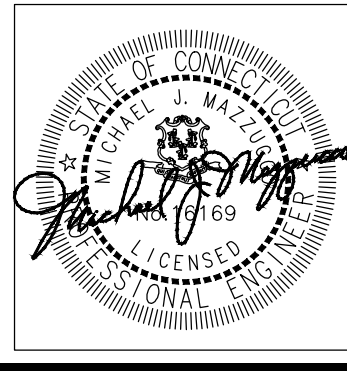
MICHAEL J. MAZZUCCO, P.C.
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 19A TA'AGAN POINT ROAD DANBURY, CONNECTICUT 06811

PROJECT **BONNIE VU LANE & EARLY VIEW LANE**
 NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)



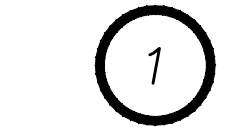

TITLE **CONVENTIONAL LAYOUT 1**

SCALE 1" = 100'	DATE 1/24/22	DRAWING NO. 16036-CV1
DRAWN BY ACAD	APPROVED BY M.M.	

REVISIONS



LEGEND

-  APPROX. EXISTING GRADE CONTOURS TAKEN FROM AERIAL TOPOGRAPHIC MAPPING BY LIU AERIAL SURVEYS
-  WETLANDS LINE AS SHOWN ON MAP PREPARED BY PAH, INC AS FLAGGED BY HENRY MOELLER, SOIL SCIENTIST
-  LOT NUMBER
-  EXISTING STONEWALL



MAP REFERENCE:

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- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

NOTES

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SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

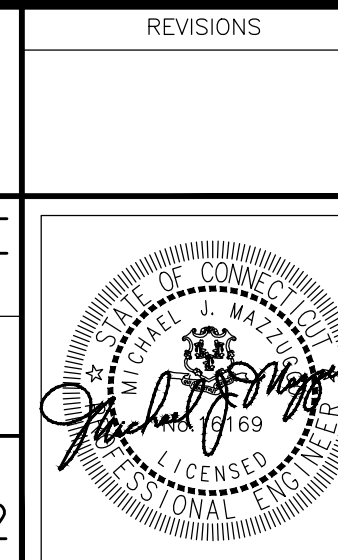
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PROJECT BONNIE VU LANE & EARLY VIEW LANE
NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)

TITLE CONVENTIONAL LAYOUT 2



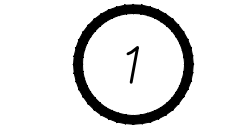

SCALE 1" = 100'	DATE 1/24/22	DRAWING NO.
DRAWN BY ACAD	APPROVED BY M.M.	16036-CV2

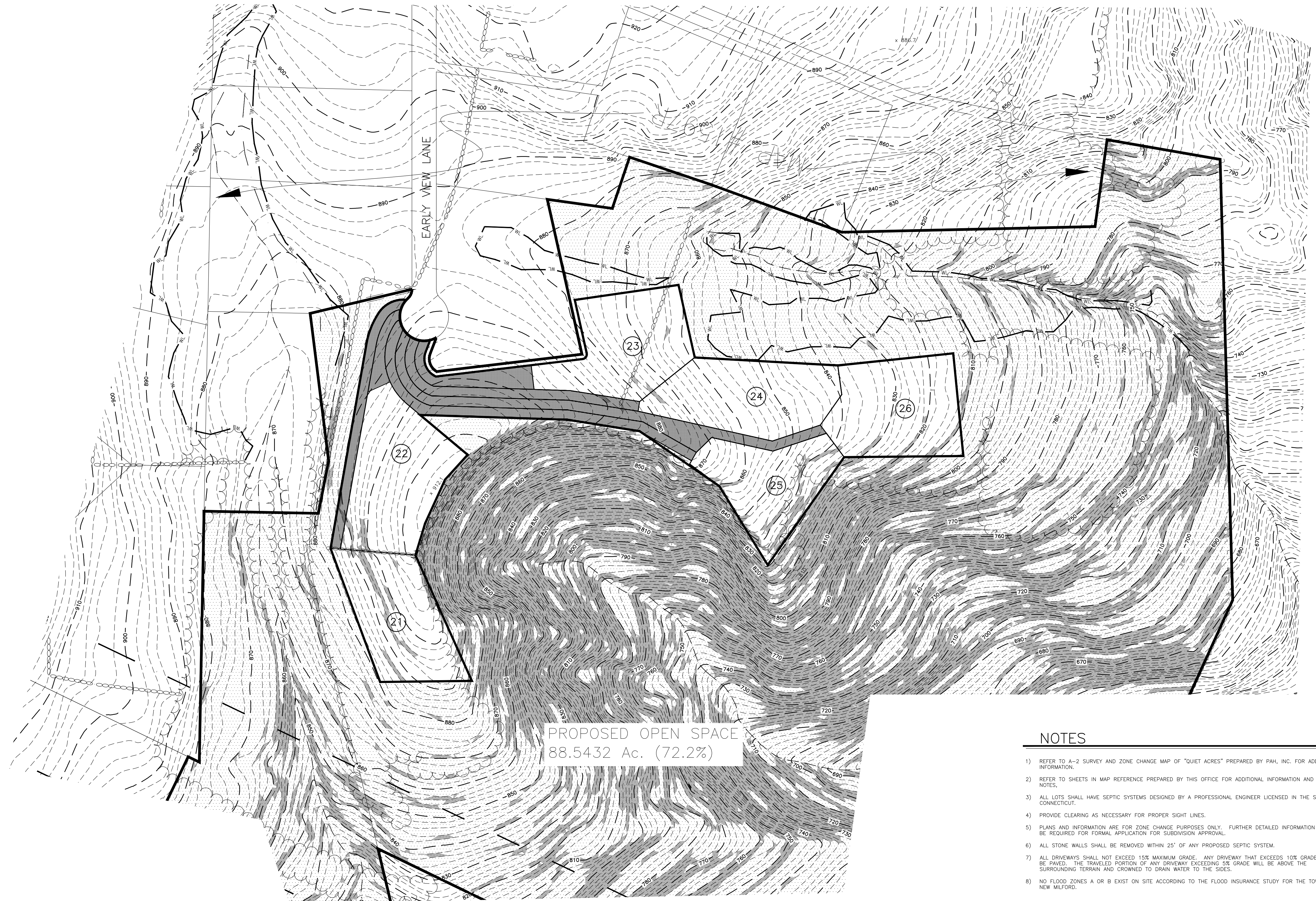


AREA = 122.54 ACRES
PLAN
SCALE 1" = 100'

OWNER/DEVELOPER:
OWNER: SYCAMORE TRAILS GROUP, LLC
ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

LEGEND

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-  LOT NUMBER
-  EXISTING STONEWALL



MAP REFERENCE:

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- 16036-EC2 EXISTING CONDITIONS MAP 2
- 16036-CV1 CONVENTIONAL LAYOUT 1
- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

NOTE: THIS PLAN IS SUBJECT TO THE APPROVAL OF A CLUSTER CONSERVATION SUBDIVISION ZONE CHANGE BY THE NEW MILFORD ZONING COMMISSION.

AREA = 122.5± ACRES
PLAN
 SCALE 1" = 100'

OWNER/DEVELOPER:
 OWNER: SYCAMORE TRAILS GROUP, LLC
 ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776

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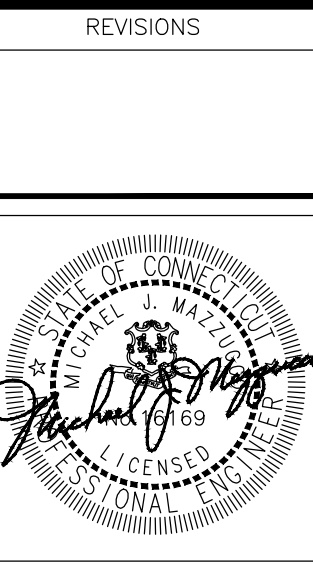
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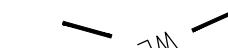


PROJECT BONNIE VU LANE & EARLY VIEW LANE
 NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)

TITLE CONSERVATION LAYOUT 1

SCALE 1" = 40'	DATE 1/24/22	DRAWING NO. 16036-CS1
DRAWN BY ACAD	APPROVED BY M.M.	



LEGEND

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-  WETLANDS LINE AS SHOWN ON MAP PREPARED BY PAH, INC. AS FLAGGED BY HENRY MOELLER, SOIL SCIENTIST
-  LOT NUMBER
-  EXISTING STONEWALL

BONNY-VU LANE

BONNY-VU LANE

AYRSHIRE DRIVE
(R.O.W ONLY)



PROPOSED OPEN SPACE
88.5432 Ac. (72.2%)

MAP REFERENCE:

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- 16036-OV OVERALL EXISTING CONDITIONS MAP
- 16036-OS OPEN SPACE PLAN
- 16036-EC1 EXISTING CONDITIONS MAP 1
- 16036-EC2 EXISTING CONDITIONS MAP 2
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- 16036-CV2 CONVENTIONAL LAYOUT 2
- 16036-CS1 CONSERVATION LAYOUT 1
- 16036-CS2 CONSERVATION LAYOUT 2

AREA = 122.5± ACRES
PLAN
SCALE 1" = 100'

NOTE: THIS PLAN IS SUBJECT TO THE APPROVAL OF A CLUSTER CONSERVATION SUBDIVISION ZONE CHANGE BY THE NEW MILFORD ZONING COMMISSION.

NOTES

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SUBDIVISION NAME: "QUIET ACRES" ASSESSOR'S LOT NO'S 45/2, 52/30.B & 52/29.A

MICHAEL J. MAZZUCCO, P.C.

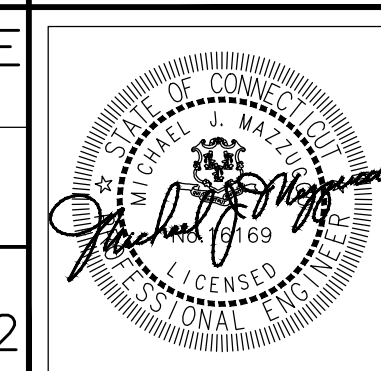
(203) 744-0057 CIVIL ENGINEER (FAX) 744-0057
19A TA'AGAN POINT ROAD DANBURY, CONNECTICUT 06811

PROJECT BONNIE VU LANE & EARLY VIEW LANE
NEW MILFORD, CT (SYCAMORE TRAILS GROUP, LLC)

TITLE CONSERVATION LAYOUT 2

SCALE 1" = 100' DATE 1/24/22 DRAWING NO. 16036-CS2
DRAWN BY ACAD APPROVED BY M.M.

OWNER/DEVELOPER:
OWNER: SYCAMORE TRAILS GROUP, LLC
ADDRESS: 511 DANBURY ROAD, NEW MILFORD, CT 06776



Proposed Amendment to the New Milford Zoning Regulations

Sycamore Trails Group, LLC, Application for the establishment of a Cluster Conservation Subdivision District (CCSD) under Chapter 107 consisting of: 1) a Map Amendment Application to change the zoning designation of 3 parcels totaling approximately 122.5 acres on Chapin Road, Early View Lane and Bonnie Vu Lane, Map 52, Lots 29.A & 30.B, and Map 45, Lot 2, from the R-80 Single Family Residence District, to CCSD#3; and 2) an Application to Amend the New Milford Zoning Regulations, Appendix E, CCSD Regulations, to add E-3: CCSD#3.

Public Hearing Date: April 12, 2022

E-3: Cluster Conservation Subdivision District #3 (CCSD#3)

The following regulations shall be applicable within the Quiet Ares Cluster Conservation Subdivision District as defined below:

Tax Assessor's Map # 52, lot 29.A, Map # 52, lot 30.B and Map 45, lot 2, and depicted on a map entitled "Zone Change Map Depicting Properties within 500' of Proposed 'Quiet Acres' New Milford, Connecticut Prepared for Sycamore Trails Group, LLC. Scale 1"=200', dated Dec. 21, 2021' prepared by PAH, Inc. , Land Surveyors, 35 Danbury Road, New Milford, Connecticut 06776 located on the southerly side of Early View Lane and easterly side of Bonny Vu Lane.

1. Lot Area, Frontage and Yard Requirements:

The minimum lot area is 40,000 square feet.

The maximum building height is 35 feet.

The minimum lot frontage is 150 feet. Irregular shaped lots and rear lots, as hereafter defined, are also permitted.

The minimum front yard is 40 feet.

The minimum side yard is 25 feet.

The minimum rear yard is 30 feet.

The minimum front and side yards on a corner lot is 30 feet.

The maximum principal building coverage is 15%

The maximum total building coverage is 20%

The maximum site coverage is 25%

No more than 15% of the lot may contain areas with existing slopes greater than 25%.

Irregular shaped lots having an area of 40,000 square feet and an average lot width of 125 feet are permitted provided that the lot has a minimum lot frontage of 50 feet on a street or highway. The lot line from which the right-of-access leads shall be considered the front line of the rear lot.

Rear lots are permitted provided that the lot has its own separate and individual unobstructed right-of-way, which is everywhere not less than 20 feet wide connecting to a street or highway. The lot line from which the right-of-access leads shall be considered the front line of the rear lot.

Front yards on corner lots. On corner lots, a front yard requirement of 30 feet shall be enforced on either street front. The width of the side yards shall not be less than thirty feet (30').

No buffer areas are required.

Common driveways as defined in section 165-050 3 are permitted.

2. Permitted uses:

The following uses are permitted:

- A. Single Family Residence or Dwelling, together with such other buildings as are ordinarily appurtenant to a single family use.
- B. Accessory Apartment, subject to a special permit and compliance with the standards and procedures applicable to approval of accessory apartments in other single family zoning districts (Section 025-030 3).
- C. Home including "Home Office or Studio", "Traditional Home Enterprise" and "General Home Occupation" subject to the standards, conditions and permit requirements otherwise set forth in the Zoning Regulations (Section 025-070 et seq.).

3. Accessory uses:

No accessory building, including a swimming pool, shall be located in any required front yard, except that an accessory building, including a swimming pool, may be located in the required rear yard or side yard provided that the same is brought no closer than twenty feet (20') from the rear or side lot lines.

A building attached to the principal building by a covered passageway, or having a wall or a part of a wall in common with it, shall be considered an integral part of the principal structure and not an accessory building.

4. Utilities:

All lots shall be served by individual wells and septic systems approved by the New Milford Department of Health or such other public or private water supply or sewer system as may be available to provide water or sewer service to such lots. Electric and other utilities shall be provided by public service companies via underground lines/conduits.



March 20, 2022

Ms. Laura Regan
Zoning Enforcement Officer
Town of New Milford
10 Main Street
New Milford, CT 06776

**Re: Peer Review of Sycamore Trails Group, Chapin Road, Early View Lane, and Bonnie Vu Lane
Map 52 - Lots 29.A and 30.B, and Map 45 - Lot 2, and Tax Map 35.4 - Lot 37
Zoning Regulation Amendment CCSD#3 and Zone Change Application from R-80 to CCSD#3
New Milford, Connecticut
SLR #11481.00079**

Dear Ms. Regan:

Pursuant to your request, SLR International Corporation (SLR) has reviewed materials submitted in association with the Map Amendment – Change of Zone Application for the Quiet Acres Subdivision. The proposed application is for the change of zone for three parcels from R-80 to Cluster Conservation Subdivision District (CCSD). As part of this effort, SLR has reviewed the following materials:

- Petition to Amend the Zoning Regulations and/or Zoning Map
- Authorization Letter from Joe Cordeiro, Sycamore Trails Group, LLC
- Proposed Regulation Amendment, E-3: Cluster Conservation Subdivision District #3
- Abutting property owners list
- Schedule A document
- Site Assessment Analysis of "Quiet Acres" Cluster Conservation Subdivision, prepared by Michael J. Mazzucco, P.C., Civil Engineer
- Map entitled: "Zone Change Map, depicting properties within 500' of proposed Quiet Acres," dated December 21, 2021, scale: 1" = 200', Prepared by the Office of PAH, INC – Land Surveyors, prepared for Sycamore Trails Group, LLC
- Site Development Plan, dated January 24, 2022, prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC, with the following sheets:
 - Cover sheet, "Quiet Acres" A Cluster Conservation Subdivision proposal, Bonnie Vu Lane & Early View Lane, dated January 24, 2022, scale: As Noted, prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
 - Sheet 16036-A, "Area Maps," dated January 24, 2022, scale: As Noted, prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
 - Sheet 16036-OV, "Overall Existing Conditions Map," dated January 24, 2022, scale: 1" = 200', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC

- Sheet 16036-OS, "Open Space Plan," dated January 24, 2022, scale: 1" = 200', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
- Sheet 16036-EC1, "Existing Conditions Map 1," dated January 24, 2022, scale: 1" = 100', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
- Sheet 16036-EC2, "Existing Conditions Map 2," dated January 24, 2022, scale: 1" = 100', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
- Sheet 16036-CV1, "Conventional Layout 1," dated January 24, 2022, scale: 1" = 100', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
- Sheet 16036-CV2, "Conventional Layout 2," dated January 24, 2022, scale: 1" = 100', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
- Sheet 16036-CS1, "Conservation Layout 1," dated January 24, 2022, scale: 1" = 40', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC
- Sheet 16036-CS2, "Conservation Layout 2," dated January 24, 2022, scale: 1" = 100', prepared by Michael J. Mazzucco, P.C., prepared for Sycamore Trails Group, LLC

Existing Conditions

The project site encompasses three separate parcels that have a total combined area of ±122.5 acres. The northernmost parcel is located to the south of Early View Lane and the two other parcels abut the southwest portion of the northern parcel. The two southern parcels are located to the east of Bonnie Vu Lane abutting the existing single-family residential lots along Bonnie Vu Lane. The three parcels are zoned as R-80 Single Family Residence District. There are no buildings/residences on site.

The majority of the parcels are wooded with a CL&P easement bisecting the parcels from roughly west to east. Historically, portions of the site were used for agricultural purposes and over the last several decades these portions have been revegetated with scrub brush and low-lying woody vegetation. The project parcels are surrounded with single family residences abutting the northern and western sides with woodland and farm fields to the southern and eastern sides. Main access to the project parcels would be from the frontage on the cul-de-sac of Early View Lane and from an existing right of way at the intersection of Ayrshire Drive and Bonnie Vu Lane.

The project parcels are located in drainage basin 6700. The entirety of the project site eventually drains to east toward Walker Brook via several small streams. The central and eastern portions of the northern parcel contain vast areas of steep slopes in excess of 25 percent. The remaining portion of the project parcels are moderately sloped with few areas of gentle slopes. There are several wetland areas identified on site. One is in the northwestern corner of the project site that runs parallel to Early View Lane. The second is a wetland corridor in the northeastern part of the site with a corresponding watercourse that drains to the east. There are several watercourses throughout the site that generally run from northwest to southeast across the site.

The project site is within areas identified by the Natural Diversity Data Base (NDDDB) and contains a 500-year flood zone identified by the Federal Emergency Management Agency (FEMA), bisecting the southern two parcels. There are no aquifer/public water supply protection areas on the site. Soils on the site have

been identified by the United States Department of Agriculture (USDA) Soil Survey as compact upland soils formed over a till base that generally have a restrictive layer that reduces infiltration. More specifically, the upland soils are Woodbridge fine sandy loam (3 to 8 percent slopes), Woodbridge fine sandy loam (3 to 8 percent slopes) very stony, Woodbridge fine sandy loam (3 to 8 percent slopes) extremely stony, Hollis-Chatfield-Rock Outcrop complex (15 to 45 percent slopes), Paxton and Montauk fine sandy loams (3 to 8 percent, 8 to 15 percent, 15 to 25 percent) and Paxton and Montauk fine sandy loams (15 to 35 percent), extremely stony. In addition, there are Ridgebury, Leicester and Whitman Soils (0 to 8 percent slopes) that are generally extremely stony that are also identified as wetland soils.

Proposed Conditions

The applicant is proposing a zone change to the three parcels, which are currently zoned as R- 80 Single Family Residence District to Cluster Conservation Subdivision District. The Cluster Conservation Subdivision District allows for reduced lot and dimensional requirements for new building lots and subdivisions with a portion of the site being required to be dedicated as open space. The applicant has submitted conventional and conservation (cluster) subdivision layouts. The conventional layout, which is based on the requirements for a R-80 residential subdivision, would have eight rear lots having access off a proposed extension of Early View Lane and 18 lots off a proposed roadway that would extend from the Bonnie Vu Lane and Ayrshire Drive intersection east into the project site.

The conservation layout is based on the proposed lot and dimensional requirements proposed by the applicant, which would have a minimum lot area of 40,000 square feet (SF). This layout would have six rear lots and would be accessed off the existing cul-de-sac of Early View Lane along with 20 lots being served by a proposed roadway connecting to the Bonnie Vu Lane and Ayrshire Drive intersection. As a part of the conservation layout, ±88.5 acres or 72.2 percent of the project site would be dedicated open space. All proposed lots would be served by individual wells and an onsite subsurface septic system.

Review Comments

From the information provided and our observations of the existing site conditions, we offer the following comments for your consideration.

Existing Conditions

1. There is a wetland corridor that runs parallel to Early View Lane that extends to the south reaching the northeastern portion of the project site. The wetland limit line stops without creating a closed area, the applicant's soil scientist should clarify this wetland area.
2. The USDA Natural Resources Conservation Service Soil Survey Map has Ridgebury, Leicester and Whitman Soils (0 to 8 percent slopes, extremely stony, Map Unit 3) along a portion of the southern property line. This soil type meets the definition of a Connecticut Inland Wetland Soil. The existing conditions mapping does not show any wetland or watercourses in this portion of the site. The

applicant's soil scientist should comment on the soil conditions present in this portion of the site to determine the soils are indeed wetland soils.

3. We note that the applicant's consultants queried the Connecticut Department of Energy & Environmental Protection (CTDEEP) Natural Diversity Database (NDDDB) and found that there were some "hits" within or nearby the property but the identification of the species of concern would be deferred until the actual subdivision plans would be presented for approval. Since the Commission is being asked to determine if a cluster conservation subdivision with the number of lots depicted on the subdivision layouts is appropriate for this site, we recommend that the species of concern be determined now so that the Commission can make an informed decision.
4. The New Milford's Geographic Information System (GIS) Land Conservation Map on Sheet Area Maps highlights a portion of the project site as private Open Space. Clarification should be provided on whether there is an existing open space easement or restriction on site.

Zoning Context

Chapter 107, Cluster Conservation Subdivision District (CCSD), was adopted to provide flexibility in the design of subdivisions to allow for the preservation of larger tracts of open space and to meet specified open space and conservation objectives that are enumerated in Section 107-010 of the Regulations. CCSD's may be established by petitioning the Commission to amend the Zoning Map for any parcel having a minimum of 30 acres and located in the R-80, R-60, or R-40 Zone. In exchange for preserving greater areas of open space, the minimum lot area may be reduced.

As part of the process, the applicant is required to provide technical information about the property features and the surrounding environment. A critical piece of information is the presentation of a comparison plan showing a conventional subdivision meeting the requirements of the Town's Subdivision Regulations, as well as other applicable regulations. This plan becomes the basis for the maximum number of lots that may eventually be approved by the Planning Commission as part of a subsequent subdivision application. In addition to the comparison plan, the applicant must also submit the development standards for the lots in the proposed CCSD as enumerated in Section 107-030 of the Regulations.

In this case, the applicant has provided a brief narrative and a series of maps that generally address the minimum submission requirements set forth in Section 107-030. However, we believe that the comparison plan for the conventional subdivision is insufficient for the Commission to determine that the number of lots shown could be realistically approved in the underlying zone.

Conventional Subdivision Plan

The Conventional Subdivision Plan (2 sheets) illustrates a total of 26 lots, 18 lots on Ayrshire Drive (undeveloped right-of-way [ROW]) and 8 lots on a short extension to Early View Drive. These plans do not meet the Subdivision Regulations in that they are simply a layout of lots without giving sufficient

consideration to existing and proposed topography and the extent of grading that would be required to develop the subdivision on a steeply sloping site. More specifically, note the following:

1. Half the lots illustrated are interior lots having individual access to the proposed streets. The access ways serving Lots 21 to 23 are a minimum of 800 feet up to over 1,100 feet long. The accessways serving Lots 24 to 26 are a minimum of 1,600 feet or longer. The applicant should have the Town of New Milford Police and Fire Departments review the length of the proposed accessways for potential accessibility to the proposed lots.
2. Sections of the access drives are located on grades that exceed 10 to 12 percent and traverse existing slopes of 20 to 25 percent. In the absence of a preliminary grading plan, the feasibility (or desirability) of these accessways cannot be determined.
3. While the applicant's engineer has indicated that soil testing has been conducted for on-site subsurface sewage disposal systems, that information should be provided for the Commission's review particularly in light of compact upland soils on the site that are likely to have a restrictive layer.
4. According to Section 2.9, *Open Space*, of the Subdivision Regulations, "Open spaces, parks or playgrounds shall be provided and reserved in each subdivision for residential purposes". The conventional subdivision layout should specify the location and size of the open space which should be a minimum of 15 percent of the total area of the subdivision as specified in Section 2.9.1, *Type and Amount of Open Space*, of the Subdivision Regulations.

Conservation Subdivision Layout

The applicant has provided a layout showing 26 Lots, the same number of lots as the Conventional Subdivision layout. The applicant has provided the development standards that would apply to the proposed CCSD #3, should it be approved by the Commission. However, the applicant has not provided the results of soil testing to demonstrate the suitability of the lots to support on-site subsurface sewage disposal systems on at least 10 percent of the lots chosen by the Commission pursuant to Section 107- 030 (f) for the Regulations. More specifically, note the following:

1. The layout shows that 6 interior lots will connect to the existing cul-de-sac on Early View Lane (Conservation Layout 1) and 20 lots will have access through an existing right-of-way to Bonny-Vu Lane from a new road having a length of approximately 1,100 feet (Conservation Layout 2). Eight of the lots with access to the new road will be interior lots.
2. The 6 lots from Early View Lane are irregular in shape having steep slopes. In addition, the access drives traverse steep slopes as well. While the lots appear to meet the dimensional standards proposed for this property, the applicant has not provided any grading plans to demonstrate that homes having onsite sewage disposal systems can be constructed without excessive earth work.

3. The lots on the proposed road are somewhat more conducive for residential development than the lots described in Item 2 above and the slopes because they avoid, for the most part, very steep slopes. However, some of the lots are very narrow with limited space for locating a house within the proposed setbacks. The applicant should demonstrate their suitability by providing a preliminary house layout, sewage disposal location, and grading plans.
4. The conservation layout depicts the areas of the project site that are proposed as open space. The applicant should comment on whether any of the proposed open space will be specified as subdivision open space.
5. Given the proposed roadway, proposed impervious surfaces, and the change in land coverage types, a stormwater management system would likely need to be utilized to handle the increased runoff from the proposed subdivision. While the details of the stormwater management system are yet to be determined, the possible areas of stormwater management facilities should be shown.

We trust this information will be helpful to you and the Zoning Commission. Please feel free to contact us if you have any further questions.

Sincerely,

SLR International Corporation



Ryan McEvoy, PE
Principal Civil Engineer



Vincent C. McDermott, FASLA, AICP
Principal Landscape Architect

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